

Council File Reference: DA411617
Council Contact: Brett Walsh
Council Contact Phone: (07) 4651 5600

6 September 2017

D and C Madders
c/- John Gatley Building Designs
PO Box 1530
BUNDABERG QLD 4670

Dear Dave and Carolyn

Development Application for:

Development Permit—

Material Change of Use: "Industrial Activity" - "Storage Facility"
Street Address: 4 Box Street Barcaldine
Property Description: Lot 19 RY219 and Lot 20 on RY219
Relevant Planning Scheme: Barcaldine Shire Planning Scheme (*V2 Effective 29 November 2013*)

I refer to your development application as described above and advise your development application has been approved in the form and manner as proposed.

Pursuant to sections 334 and 335 of the *Sustainable Planning Act 2009* (SPA), please find attached the **Decision Notice**.

Please contact Mr Brett Walsh of Barcaldine Regional Council (07) 4651 5600 should you have any queries.

Yours Faithfully



D A Howard
Chief Executive Officer

DECISION NOTICE – APPROVAL
(Section 334 of the *Sustainable Planning Act 2009*)

Pursuant to section 335 of the *Sustainable Planning Act 2009* (SPA):

(1) DATE OF DECISION

On 1 September 2017, Barcaldine Regional Council, as the assessment manager, decided and approved the development application (Council File Reference: DA411617) seeking:

Development Permit – Material Change of Use for:

“Industrial Activity” – “Storage Facility”

(2) APPLICANT DETAILS

Name: D and C Madders

Postal Address: c/- John Gatley Building Designs
 PO Box 1530
 BUNDABERG QLD 4670

Phone No.: (07) 4153 1183

Email: john@gatleybuildingdesign.com.au

(3) SUBJECT SITE – PROPERTY DESCRIPTION

RPD	Street Address
Lot 19 on RY219	4 Box Street, Barcaldine
Lot 20 on RY219	4 Box Street, Barcaldine

(4) REFERRAL AGENCIES

Pursuant to sections 250 and 251 of the *Sustainable Planning Act 2009* (SPA) and *Schedule 7 Referral Agencies and their Jurisdictions of the Sustainable Planning Regulation 2009* (SP Reg), the following referral agency was prescribed for the development application.

Referral Agency Name and Type	Referral Agency Address
Department of Infrastructure, Local Government and Planning— as concurrence agency – Department of Transport and Main Roads (DTMR) with Jurisdiction	Via Post: State Assessment and Referral Agency Mackay Isaac Whitsunday Regional Office Level 4, 44 Nelson Street PO Box 257 MACKAY QLD 4740 Via Email: MIWSARA@dilgp.qld.gov.au Via MyDAS: www.dilgp.qld.gov.au

Refer to Attachment B for Department of Infrastructure, Local Government and Planning, Concurrence Agency Response dated 23 June 2017 and 7 July 2017 (email).

(5) **DECISION**

The development application has been assessed and is:

- Approved in Full
- Approved in Part
- Approved in Full, with Conditions
- Approved in Part, with Conditions
- Refused

(6) **APPROVAL UNDER SECTION 331**

Pursuant to section 331 of SPA, the development application has not been deemed to be approved.

(7) **DETAILS OF APPROVAL**

Aspect of Development	Development Permit	Preliminary Approval
Carrying out Building Work	<input type="checkbox"/>	<input type="checkbox"/>
Carry out Operational Work	<input type="checkbox"/>	<input type="checkbox"/>
Making a Material Change of Use for: "Industrial Activity" – "Storage Facility"	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Reconfiguring a Lot	<input type="checkbox"/>	<input type="checkbox"/>

(8)

**CONFLICT WITH A RELEVANT INSTRUMENT AND REASONS FOR THE DECISION
DESPITE THE CONFLICT**

The assessment manager does consider that the assessment manager's decision conflicts with a relevant instrument.

Details of the conflict with the relevant instrument	Reason for the decision, including a statement about the sufficient grounds to justify the decision despite the conflict
<p>1. The proposed development being an "Industrial Activity" – "Storage Facility" Is, by definition, not a "Commercial Activity" and is contrary to the Intent and Purpose of the Commercial Zone Code.</p> <p>The appearance, bulk and scale of the industrial shed are not envisaged and are not representative of commercial uses generally.</p>	<p>The proposed development is approved, despite the conflict, on the following grounds:</p> <ul style="list-style-type: none">(a) approval of the development proposal will make lawful the existing industrial building on the subject site which does not have an effective development approval;(b) the applicant has limited the proposal to a low impact use, being for the storage of goods only, with no manufacturing or fabrication, servicing or repairing of goods, no display or sale of goods and no access to the general public;(c) the proposal is located on an arterial road which passes through the town of Barcaldine;(d) the subject site is adjoined on its northern side by an existing "Industrial Activity" (service station); and(e) the local amenity will be protected through:<ul style="list-style-type: none">- appropriate limitations on hours of operation and loading/unloading of goods (7:00 am to 6:00 pm Monday to Saturday);- ensuring use of the premises is restricted to storage facility only, thereby minimising potential noise impacts;- retention of existing landscaping and provision of additional landscaping to soften the visual impacts of the building.

(9)

SUBMISSIONS

No submissions were made to the assessment manager during the notification period.

(10) **APPROVED PLANS AND SUPPORTING DOCUMENT**

Refer to Attachment A for a copy of the approved plans.

APPROVED PLANS	
Reference:	F5368-01 Rev F
Description:	"PROPOSED EXTENSION FOR D. MADDERS. NO.4 BOX STREET, BARCALDINE. FLOOR PLAN.", Gatley Building Designs, dated 30/06/17
Amendments:	Nil
Reference:	F5368-02 Rev F
Description:	"PROPOSED EXTENSION FOR D. MADDERS. NO.4 BOX STREET, BARCALDINE. ELEVATIONS.", Gatley Building Designs, dated 30/06/17
Amendments:	Nil

SUPPORTING DOCUMENT	
Reference:	5368 Rev D
Description:	"Planning Report – Revision D", May 2017, and supporting material as lodged
Amendments:	Nil

(11) **PLANS REQUIRING AMENDMENT**

The following plans require amendment prior to becoming Approved Plans for the development:

PLANS REQUIRING AMENDMENT	
Reference:	F5368-03 Rev F
Description:	"PROPOSED EXTENSION FOR D. MADDERS. NO.4 BOX STREET, BARCALDINE. SITE PLAN.", Gatley Building Designs, dated 30/06/17
Amendments:	Required by Condition 5 of Item 12 of this Decision Notice
Reference:	F5368-04 Rev F
Description:	"PROPOSED EXTENSION FOR D. MADDERS. NO.4 BOX STREET, BARCALDINE. TURNING PATHS – MRV DELIVERY VEHICLE.", Gatley Building Designs, dated 30/06/17
Amendments:	Required by Conditions 5 of Item 12 of this Decision Notice
Reference:	F5368-05 Rev F
Description:	"PROPOSED EXTENSION FOR D. MADDERS. NO.4 BOX STREET, BARCALDINE. ADJOINING USES PLAN.", Gatley Building Designs, dated 30/06/17
Amendments:	Required by Condition 5 of Item 12 of this Decision Notice
Reference:	F5368-06
Description:	"PROPOSED EXTENSION FOR D. MADDERS. NO.4 BOX STREET, BARCALDINE. MODIFIED CARPARK DESIGN.", Gatley Building Designs, dated 24/06/17
Amendments:	Required by Condition 5 of Item 12 of this Decision Notice

ASSESSMENT MANAGER'S CONDITIONS

NO.	CONDITION	TIMING
Approved Use		
1.	Approval is granted for the purpose of Material Change of Use for: "Industrial Activity" – "Storage Facility", limited to only the storage of goods, and ancillary administration and accounting.	At all times while the use continues.
2.	The premises shall not be used for any other purpose, including, but not limited to: - displaying or offering of goods for sale; - any fabrication or manufacturing process; or - servicing or repairing of goods of any description.	At all times while the use continues.
3.	All goods shall be stored only within the confines of the enclosed building. There shall be no external storage of goods within the subject site, including under the awning area.	At all times while the use continues.
Approved Plans and Supporting Document		
4.	The development shall be undertaken generally in accordance with the approved plans and the supporting document, as listed in Item 10 (above) of this Decision Notice.	At all times while the use continues.
Plans Requiring Amendment – Prior to Becoming Approved Plans		
5.	Amended plans, as listed in Item 11 of this Decision Notice, shall be prepared by a suitably qualified and experienced person and shall be submitted to and for the endorsement of Council. The amended plans must incorporate: (a) any necessary widening of the vehicle access crossovers to ensure the full extent of the turning paths for all vehicles entering and leaving the subject site is adequately accommodated (Refer to Condition 17); (b) the vehicle barrier along the perimeter of the concrete car parking, service bay and vehicle manoeuvring area (Refer to Condition 26); (c) landscaping along the Box Street frontage between the two vehicle access crossovers, with a minimum width of 1.5 m, and the consequential changes to the layout of parking spaces 1, 2 and 3 and associated concrete barrier kerbs (Refer to Conditions 24 and 36); (d) 1.2 m wide concrete barrier kerb along the western boundary of car parking space 6 and the consequential changes to the layout of parking spaces 4, 5 and 6 (Refer to Condition 36); and (e) location of the dedicated refuse storage container area (Refer to Condition 40).	Prior to lodgement of development application for building works.
Removal of Existing Shed		
6.	The existing 3 m x 3 m garden shed on the western boundary of the premises shall be removed.	Prior to commencement of any works on the subject site.
Amalgamation of Lots		

NO.	CONDITION	TIMING
7.	Lot 19 on RY219 and Lot 20 on RY219 shall be amalgamated.	Prior to commencement of any works on the subject site.
8.	A Plan of Survey of the amalgamation of Lot 19 on RY219 and Lot 20 on RY219, prepared by a licensed surveyor, shall be lodged with the Registrar of Titles for registration and issuing of title in respect of the amalgamated lot. On completion of registration of the survey plan, a copy of the survey plan and title shall be provided to Council.	Prior to commencement of any works on the subject site.
Tenancy of Premises		
9.	The premises shall be occupied and operated as a single tenancy by way of the removal of the northern (end) wall of the existing building. The premises shall not in any way be occupied or operated as two or more separate tenancies.	Prior to the giving of Certificate of Classification by the Building Certifier and at all times while the use continues.
10.	Plans submitted with the development application for building works shall incorporate the removal of the northern (end) wall of the existing building.	Prior to lodgement of development application for building works.
Works During Construction		
11.	Best practice soil erosion control techniques shall be used at the location of all works on the subject site, in accordance with Schedule 1, Division 1: Standards for Construction Activities, Section 1.1 of the Barcaldine Shire Planning Scheme or to other accepted and Council endorsed engineering standards, and <i>State Planning Policy</i> , April 2016, Part H, Appendix 3 – <i>SPP Code: Water Quality</i> , Table A: <i>Construction phase – stormwater management design objectives</i> .	Prior to the commencement of any works on the subject site and maintained at all times during construction.
12.	Any damage to existing infrastructure (including kerb and channel, footpath, roadway and utility services) that may have occurred during any works carried out in respect of the development shall be repaired at no cost to the local government.	Prior to the commencement of the use.
Stormwater and Drainage		
13.	A detailed Stormwater Quality Management Plan, prepared by a Registered Professional Engineer Queensland – Civil (RPEQ), shall be submitted to and for the endorsement of Council. The Stormwater Quality Management Plan shall ensure (but is not limited to): (a) the subject site has a stormwater drainage system which conveys run-off to a lawful point(s) of discharge; (b) stormwater discharges from the subject site do not cause ponding or damage external to the site; (c) the installation of appropriate control devices to ensure no transport of sediment from the site and to ensure compliance with <i>Environmental Protection (Water) Policy 2009</i> ; (d) all roof and driveway run-off discharges to Ash Street; and (e) no increase in stormwater discharge to Box Street.	Prior to the commencement of any works on the subject site.

NO.	CONDITION	TIMING
	The Stormwater Quality Management Plan shall incorporate and address matters associated with excavation and filling on the subject site.	
14.	The subject site shall be adequately drained and all stormwater shall be disposed of as indicated on the approved plans, with all roof and driveway run-off discharges to Ash Street, and in accordance with Schedule 1, Division 5: Standards for Stormwater Drainage, Section 5.1 of the Barcaldine Shire Planning Scheme or to other accepted and Council endorsed engineering standards.	At all times while the use continues.
15.	Stormwater works shall be constructed and operated in accordance with the Stormwater Quality Management Plan endorsed by Council.	Prior to the giving of Certificate of Classification by the Building Certifier and maintained at all times while the use continues.
Property Access and Driveways		
16.	The two existing one-way vehicle access crossovers from the subject site to Box Street, as indicated on the approved plans, shall be retained and upgraded as required in accordance with Schedule 1, Division 2: Standards for Roads, Carparking, Manoeuvring Areas and Access, Section 2.2(1)(b) of the Barcaldine Shire Planning Scheme or to other accepted and Council endorsed engineering standards.	Prior to commencement of any works on the subject site.
17.	The vehicle access crossovers shall be widened where necessary to ensure the full extent of the turning paths for all vehicles entering and leaving the subject site is adequately accommodated, as determined by a Registered Professional Engineer Queensland – Civil (RPEQ). Any necessary widening of the crossovers shall be constructed of concrete to match existing.	Prior to the giving of Certificate of Classification by the Building Certifier and at all times while the use continues.
18.	Traffic directional signage shall be erected at the Box Street frontage to ensure the one-way operation of the two vehicle access crossovers. Signage shall be in accordance with the Manual of Uniform Traffic Control Devices. Ingress to the subject site shall be via the southern crossover; egress from the subject site shall be via the northern crossover.	Prior to the giving of Certificate of Classification by the Building Certifier and at all times while the use continues.
19.	Vehicle manoeuvring areas shall be provided to ensure all vehicles associated with the use can enter and leave the subject site in a forward direction.	At all times while the use continues.
20.	All internal driveways and areas where vehicles regularly manoeuvre and park shall be constructed of concrete and shall be designed and constructed in accordance with Schedule 1, Division 2: Standards for Roads, Carparking, Manoeuvring Areas and Access, Section 2.2(1)(b) of the Barcaldine Shire Planning Scheme or to other accepted and Council endorsed engineering standards.	Prior to the giving of Certificate of Classification by the Building Certifier and at all times while the use continues.
Provision for People With a Disability		
21.	The premises shall be designed, constructed and operated to ensure access, carparking and the provision of sanitary and other facilities for	Prior to the giving of Certificate of Classification

NO.	CONDITION	TIMING
	people with a disability are in accordance with Part D3 and Part F2 of the National Construction Code 2016, Building Code of Australia – Volume 1 and Australian Standards AS2890 and AS1428.	by the Building Certifier and at all times while the use continues.
Amenities for Workers		
22.	Adequate amenities shall be provided on-site for workers, in accordance with the relevant provisions of the <i>Work Health and Safety Act 2011</i> and <i>Work Health and Safety Regulation 2011</i> .	Prior to the giving of Certificate of Classification by the Building Certifier and at all times while the use continues.
Landscaping and Fencing		
23.	Appropriate landscaping, including grassed areas, shall be provided in all parts of the subject site outside of the building and the vehicle access, carparking, service bay and associated on-site manoeuvring areas, to ensure the maintenance of the local streetscape and visual amenity. Landscaping shall include the retention of the existing landscaping along the Box Street and Ash Street frontages and the provision of additional landscaping to soften the visual appearance of the building.	Prior to the giving of Certificate of Classification by the Building Certifier and maintained at all times while the use continues.
24.	Landscaping shall include an area along the Box Street frontage, between the two vehicle access crossovers, with a minimum width of 1.5 m.	Prior to the giving of Certificate of Classification by the Building Certifier and maintained at all times while the use continues.
25.	A landscaping plan shall be prepared by a suitably qualified and experienced person and shall be submitted to and for the endorsement of Council.	Prior to commencement of any works on the subject site.
26.	Landscaping works shall be carried out in accordance with the endorsed landscaping plan, at the expense of the applicant and at no cost to the local government.	Prior to the giving of Certificate of Classification by the Building Certifier and maintained at all times while the use continues.
27.	A 1.8 metre high screen fence shall be erected along, and for the full length of the western and northern boundaries of the subject site.	Prior to the giving of Certificate of Classification by the Building Certifier and maintained at all times while the use continues.
28.	A vehicle barrier, comprising fixed posts and chain, or similar, shall be erected along the perimeter of the concrete car parking, service bay and vehicle manoeuvring area, as indicated on the approved plans, to ensure no vehicle can access or manoeuvre onto landscaped or grassed areas.	Prior to the giving of Certificate of Classification by the Building Certifier and maintained at all times while the use continues.
Water Supply		
29.	The subject site shall be connected to Council's reticulated water supply system in accordance with Schedule 1, Division 3: Standards for Water	Prior to the commencement of any works on the subject

NO.	CONDITION	TIMING
	Supply, Section 3.1 of the Barcaldine Shire Planning Scheme or to other accepted and Council endorsed engineering standards.	site and at all times while the use continues.
Sewerage		
30.	The subject site shall be connected to Council's reticulated sewerage system in accordance with Schedule 1, Division 4: Standards for Sewerage, Section 4.1 of the Barcaldine Shire Planning Scheme or to other accepted and Council endorsed engineering standards.	Prior to the commencement of any works on the subject site and at all times while the use continues.
Electricity and Telecommunication Services		
31.	The subject site shall be connected to the reticulated electricity supply and to telecommunication services in accordance with relevant standards required by the service providers.	Prior to the commencement of any works on the subject site and at all times while the use continues.
Lighting		
32.	Lighting of the subject site, including any security lighting, shall be such that the lighting intensity does not exceed 8.0 lux at a distance of 1.5 metres from the subject site at any property boundary. All lighting shall be directed or shielded so as to ensure that no glare directly affects nearby properties or the operational safety of Box Street or Ash Street.	At all times while the use continues.
Carparking and Service Vehicles		
33.	A minimum of seven (7) car parking spaces (including one PWD space) with minimum dimensions of 2.6 m x 5.4 m shall be provided on-site, as indicated on the approved plans.	Prior to giving of Certificate of Classification by Building Certifier and at all times while the use continues.
34.	A service bay with minimum dimensions 3.5 m x 8.8 m shall be provided on-site for a medium rigid vehicle, as indicated on the approved plans.	Prior to giving of Certificate of Classification by Building Certifier and at all times while the use continues.
35.	Parking of vehicles on-site shall be only in the designated car parking spaces and service bay. Vehicle parking under the awning shall be limited to the one PWD space.	At all times while the use continues.
36.	A 1.2 m wide concrete barrier kerb shall be provided along: (a) southern boundary of car parking space 1; (b) northern boundary of car parking space 3; and (c) western boundary of car parking space 6 (for separation from the service vehicle bay), as indicated on the approved plans.	Prior to giving of Certificate of Classification by Building Certifier and at all times while the use continues.
37.	All carparking spaces, service bay and associated driveways and manoeuvring areas shall be designed, constructed and delineated in accordance with Australian Standards AS2890 and AS1428.	At all times while the use continues.
Noise and Air Emissions		
38.	The operation and use of the premises, and of all plant and equipment,	At all times while the use

NO.	CONDITION	TIMING
	including air-conditioning units, shall ensure compliance with <i>Environmental Protection (Noise) Policy 2008</i> and <i>Environmental Protection (Air) Policy 2008</i> .	continues.
Refuse		
39.	Provision shall be made for the on-site collection of general refuse in covered waste containers with a capacity sufficient for the use. Waste containers shall be maintained in a clean and tidy state and shall be emptied and the waste removed from the site on a regular basis.	At all times while the use continues.
40.	A dedicated refuse storage container area shall be provided on-site which must be accessible by the refuse collection vehicle.	Prior to giving of Certificate of Classification by Building Certifier and at all times while the use continues.
Hours of Operation		
41.	The use shall be operated only between the hours of 7:00 am to 6:00 pm, Monday to Saturday. The use shall not be operated on Sundays or Public Holidays.	At all times while the use continues.
Loading and Unloading of Goods		
42.	All loading and unloading of goods shall be carried out within the subject site. No loading or unloading of goods shall occur external to the subject site.	At all times while the use continues.
43.	Loading and unloading of goods shall occur only between the hours of 7:00 am to 6:00 pm, Monday to Saturday. No loading and unloading of goods shall occur on Sundays or Public Holidays.	At all times while the use continues.
Provision of Documents to Building Certifier		
44.	The applicant shall provide the building certifier with a copy of this decision notice and shall ensure the building certifier is familiar with the content and all requirements of the conditions of this decision notice which require compliance "prior to lodgement of development application for building works", "prior to giving of certificate of classification by building certifier" or "prior to commencement of any works on the subject site".	Prior to lodgement of development application for building works.
Provision of Documents to Tenant		
45.	The applicant shall provide the tenant with a copy of this decision notice and shall ensure the tenant is familiar with the content and all requirements of the conditions of this decision notice.	Prior to the commencement of the use and at all times while the use continues.
46.	The applicant shall ensure any agreement (including tenancy agreement) requires the use of the premises to be conducted in accordance with the conditions of this decision notice.	Prior to the commencement of the use and at all times while the use continues.
Provision of Documents to Council		
47.	The applicant shall provide Barcaldine Regional Council with documentation confirming all conditions of this decision notice have been complied with and all works and/or other requirements of each condition	Prior to the commencement of the use.

NO.	CONDITION	TIMING
	have been completed.	
Cost of Works and Services		
48.	The cost of carrying out works and providing services to the subject site, as required by the conditions of approval, shall be at the expense of the applicant and at no cost to the local government.	
Payment of Rates and Charges		
49.	All outstanding rates and charges shall be paid to Council.	Prior to the lodgement of the survey plan for the amalgamation of the subject site with the Registrar of Titles.

ADVISORY NOTE:

The Relevant Period	
1.	Pursuant to section 341 of the <i>Sustainable Planning Act 2009</i> , this approval shall lapse if the use under this Approval has not commenced within four (4) years from the day the approval takes effect.

(12) **REFERRAL AGENCY CONDITIONS**

Refer to Attachment B for Department of Infrastructure, Local Government and Planning, Concurrence Agency Response dated 23 June 2017 and 7 July 2017 (email).

(13) **CODES FOR SELF-ASSESSABLE DEVELOPMENT**

Not applicable.

(14) **DETAILS OF ANY COMPLIANCE ASSESSMENT REQUIRED**

Not applicable.

(15) **OTHER DEVELOPMENT PERMITS REQUIRED**

Listed below are other development permits that are necessary to allow the development to be carried out

- Carrying out Building Work
- Carry out Operational Work
- Making a Material Change of Use of premises
- Reconfiguring a Lot

(16) **RIGHTS OF APPEAL FOR APPLICANT**

Refer to Attachment C for a copy of the relevant extracts of *Sustainable Planning Act 2009* which detail your appeal rights regarding this decision.

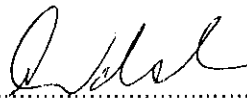
(17) **RIGHTS OF APPEAL FOR SUBMITTERS**

Not applicable.

(18) **ASSESSMENT MANAGER**

Barcaldine Regional Council

Signature



Date:.....1/9/17

Attachment A – Approved Plans for Material Change of Use for: “Industrial Activity” – “Storage Facility”

Attachment B – Referral Agency Response

Attachment C – *Sustainable Planning Act 2009* extract on Appeal Rights

Attachment A

Approved Plans and Plans Requiring Amendment – Prior to Becoming Approved Plans

Development Permit for Material Change of Use for: “Industrial Activity” – “Storage Facility”

APPROVED PLANS	
Reference:	F5368-01 Rev F
Description:	“PROPOSED EXTENSION FOR D. MADDERS. NO.4 BOX STREET, BARCALDINE. FLOOR PLAN.”, Gatley Building Designs, dated 30/06/17
Amendments:	Nil
Reference:	F5368-02 Rev F
Description:	“PROPOSED EXTENSION FOR D. MADDERS. NO.4 BOX STREET, BARCALDINE. ELEVATIONS.”, Gatley Building Designs, dated 30/06/17
Amendments:	Nil

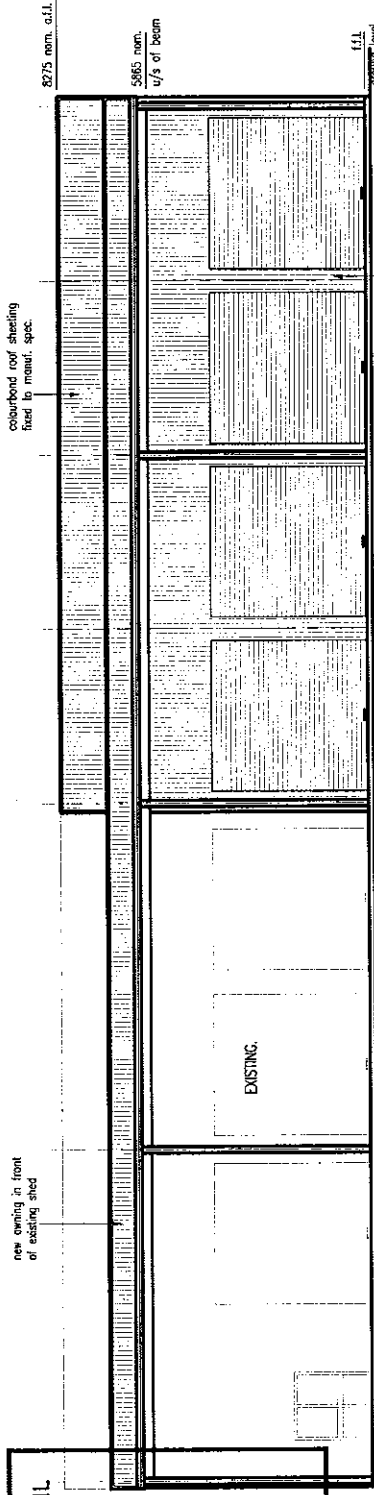
PLANS REQUIRING AMENDMENT	
Reference:	F5368-03 Rev F
Description:	“PROPOSED EXTENSION FOR D. MADDERS. NO.4 BOX STREET, BARCALDINE. SITE PLAN.”, Gatley Building Designs, dated 30/06/17
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Reference:	F5368-06
Description:	“PROPOSED EXTENSION FOR D. MADDERS. NO.4 BOX STREET, BARCALDINE. MODIFIED CARPARK DESIGN.”, Gatley Building Designs, dated 24/06/17
Amendments:	Required by Condition 5 of Item 12 of this Decision Notice

BARCALDINE REGIONAL COUNCIL
DIGITALLY STAMPED
APPROVED PLAN

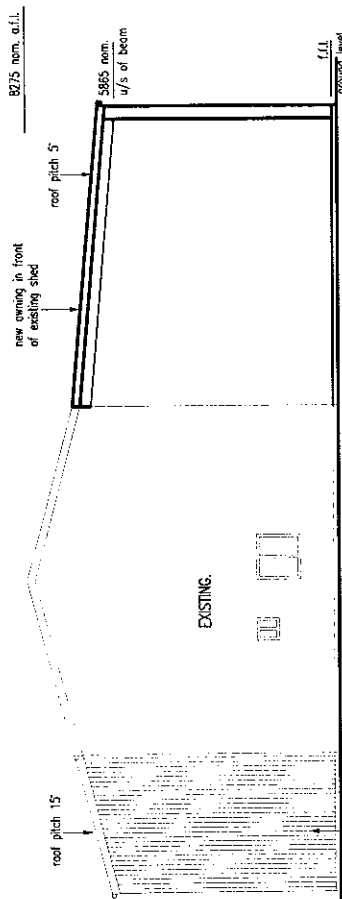
Development Permit - Material Change of Use for:
 "Industrial Activity" - "Storage Facility"

referred to in and subject to the conditions in Council's
 Decision Notice

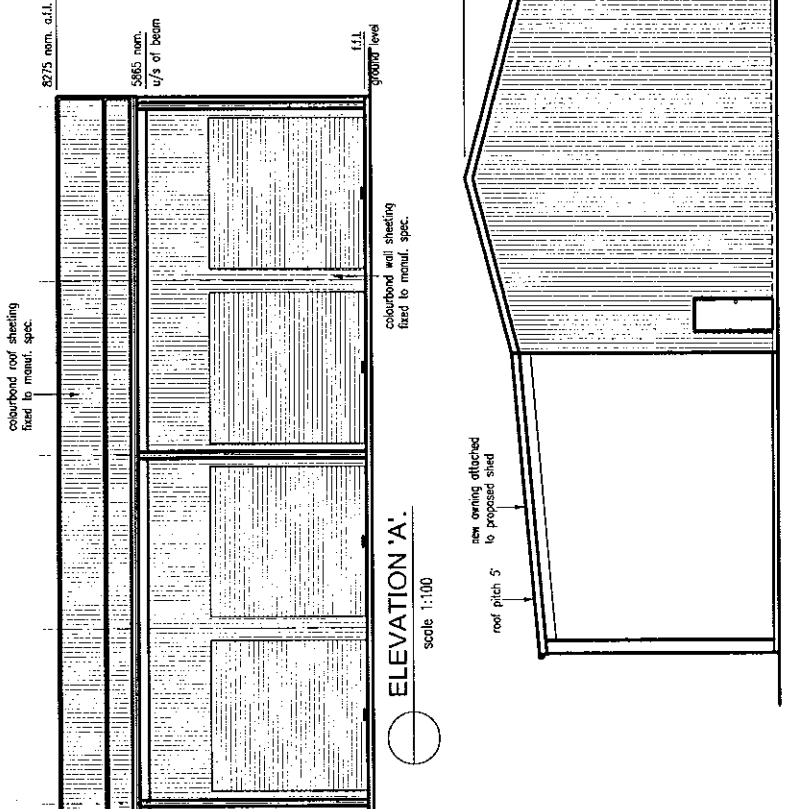
Approval Date: **1 September 2017**
 Application Number: **DA411817**



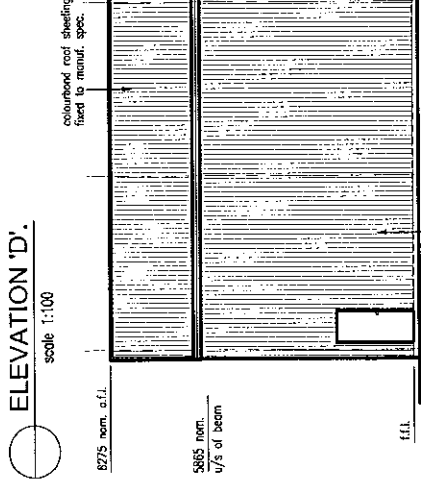
ELEVATION 'A'
 scale 1:100



ELEVATION 'B'
 scale 1:100



ELEVATION 'C'
 scale 1:100



ELEVATION 'D'
 scale 1:100

ELEVATION 'E'
 scale 1:100

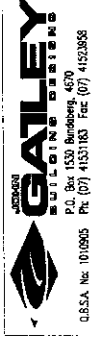
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GENERAL:
 CONSTRUCTION TO BE IN ACCORDANCE WITH THE QUEENSLAND BUILDING ACT 1975-1998 AND THE STANDARD BUILDING REGULATION 1993 AND SHALL COMPLY WITH ALL LOCAL AUTHORITY REGULATIONS AND REQUIREMENTS.
 THESE SETS AND CONNECTION DETAILS NOT SHOWN TO BE IN ACCORDANCE WITH AS 1584-1998 RESIDENTIAL TIMBER FRAME CONSTRUCTION MANUAL FOR WIND SPEED NOMINATED.
 VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE STARTING WORK.

Rev F - Updated Carpark Layout (30/06/2017)
 Rev E - Updated to Address RB1 (07/03/2017)
 Rev D - Updated Application (17/04/2017)
 Rev C - Updated internal layout & stormwater details (17/03/2017)
 Rev B - Additional details for Planning Assessment (27/07/2017)

Drawn by: C.T. Revision No: Rev F(30/06/17)
 Scale: 1:100 @ A2 Drawing No: 5368-02
 Date: 10/12/15

Title: PROPOSED EXTENSION FOR D. WADDERS,
 NO. 4 BOX STREET, BARCALDINE
 ELEVATIONS.

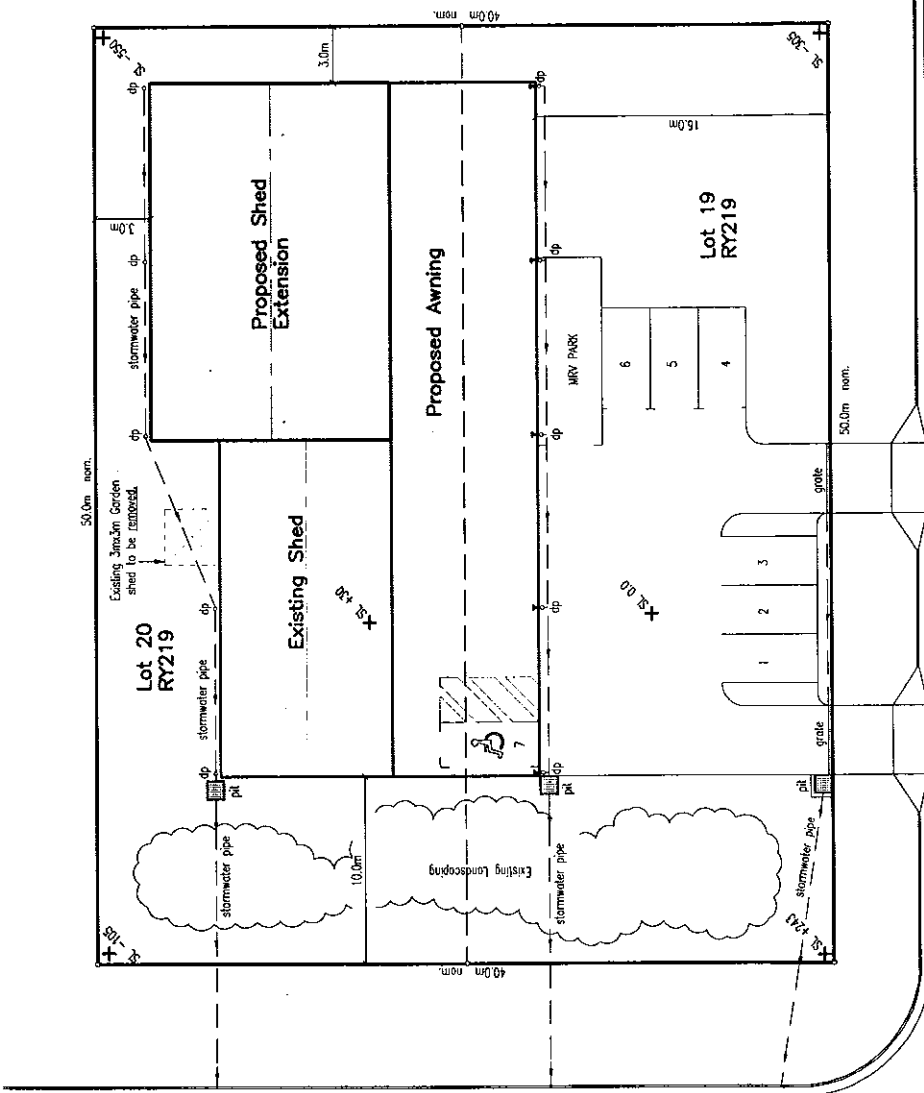


Signature: _____



Site Coverage: 710.4m² (35.5% coverage) inc. Existing & Proposed Shed & Awning

Total Use Area: 452.0m² (22.6% coverage) inc. Existing & Proposed Shed excluding Proposed Awning (vehicle manoeuvring area)



NOTE: All roof and driveway run off to discharge to Ash Street as shown. Pipe and pit sizes to be provided by engineer at Building Application stage.

Make: existing site levels provided on plan.

BARCALDINE REGIONAL COUNCIL

DIGITALLY STAMPED

PLAN REQUIRING AMENDMENT

Development Permit – Material Change of Use for: "Industrial Activity" – "Storage Facility"

referred to in and subject to the conditions in Council's Decision Notice

Approval Date: 1 September 2017

Application Number: DA411617

Box Street

SITE PLAN

scale 1:200

Rev F – Updated Comput. Levels (30/05/2017)

Rev E – Updated to Address REI (07/05/2017)

Rev D – Updated Application (17/04/2017)

Rev C – Updated internal layout & stormwater details (17/03/2017)

Rev B – Additional details for Planning Assessment (21/07/2017)

Drawn by: R.B.

Scale: 1:200 @ A2

Date: 10/12/15

Revision No: Rev F(30/05/17)

Drawing No: 5368-03

Signed:

Title: PROPOSED EXTENSION FOR D. WADDERS, NO. 4 BOX STREET, BARCALDINE SITE PLAN

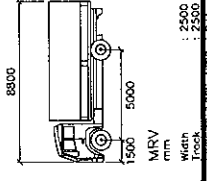
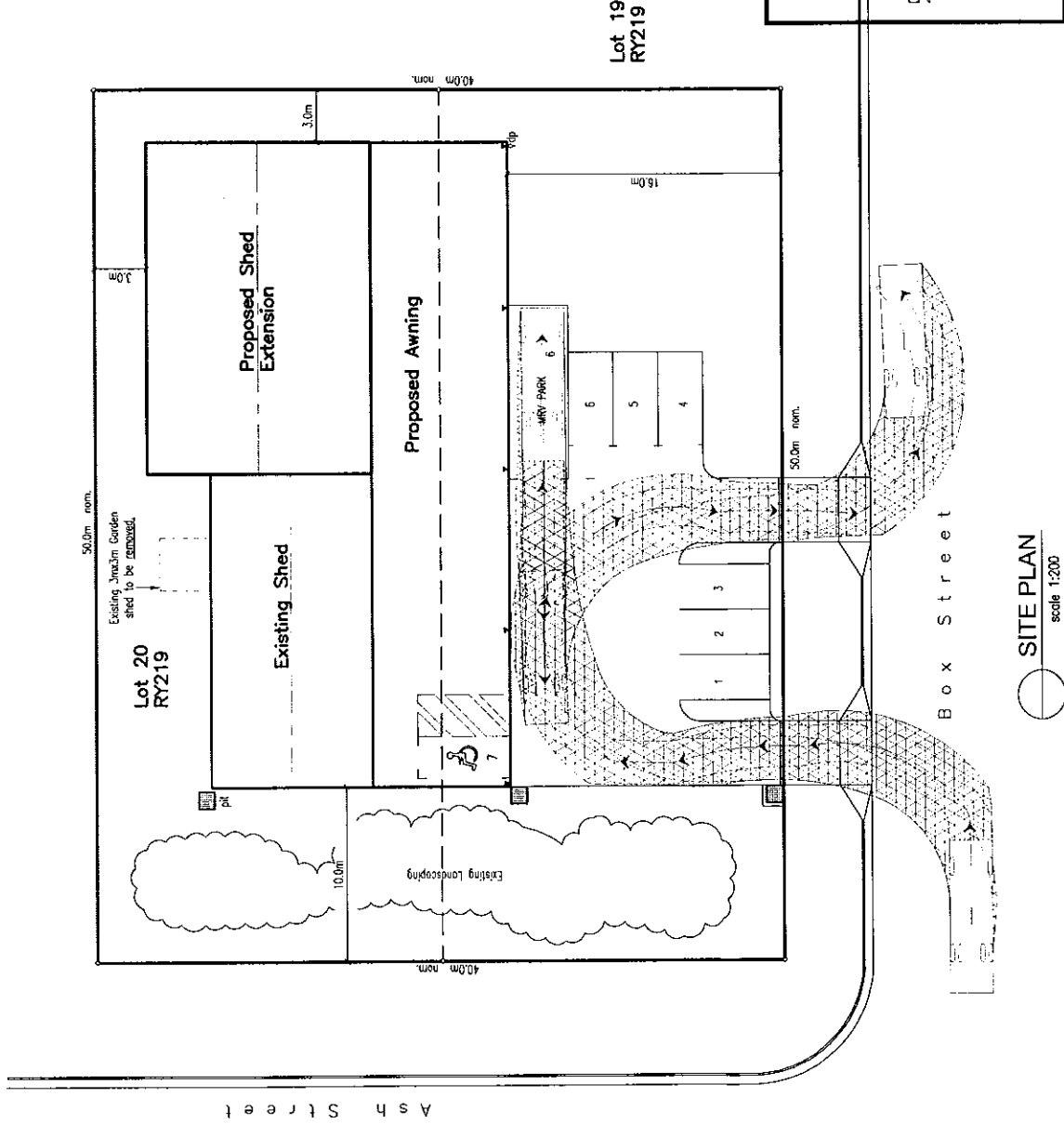
GATLEY

CONSULTANTS

P.O. Box 1530 Bundaberg 4670

Ph: (07) 4153183 Fax: (07) 4152358

Q.B.S.A. No: 1010865



BARCALDINE REGIONAL COUNCIL
 DIGITALLY STAMPED

PLAN REQUIRING AMENDMENT

Development Permit - Material Change of Use for:
 "Industrial Activity" - "Storage Facility"

referred to in and subject to the conditions in Council's
 Decision Notice

Approval Date: 1 September 2017
 Application Number: DA411617

Rev. E - Updated to Address RT (07/05/2017)
 Rev. D - Updated Application (17/04/2017)
 Rev. C - Updated internal layout & stormwater details (17/03/2017)
 Rev. B - Additional details for Planning Assessment (07/07/2017)

Drawn by: R.B.	Revision No: Rev F(30/06/17)
Scale: 1:200 @ A2	Drawing No: 5368-04
Date: 10/12/15	Signed:

File: PROPOSED EXTENSION FOR D. WADDERS,
 NO. 4 BOX STREET, BARCALDINE
 TURNING PATHS - MRV DELIVERY VEHICLE.

GATLEY CONSULTING
 P.O. Box 1530 Barcaldine, 4670
 G.S.A. No: 1010905 Ph: (07) 41531183 Fax: (07) 41532958

SITE PLAN
 scale 1:200



Residential Use

BOX STREET.

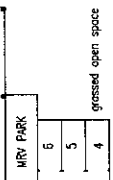
ASH STREET.

Residential Use

Residential Use

Petrol Station

Subject Sites



Existing 3mu2m Condoms
sited to be demolished

Existing Landscaping

BOX STREET.

Motel

BARCALDINE REGIONAL COUNCIL
DIGITALLY STAMPED
PLAN REQUIRING AMENDMENT

Development Permit - Material Change of Use for:
Industrial Activity - Storage Facility

referred to in and subject to the conditions in Council's
Decision Notice

Approval Date: 1 September 2017
Application Number: DAA41817

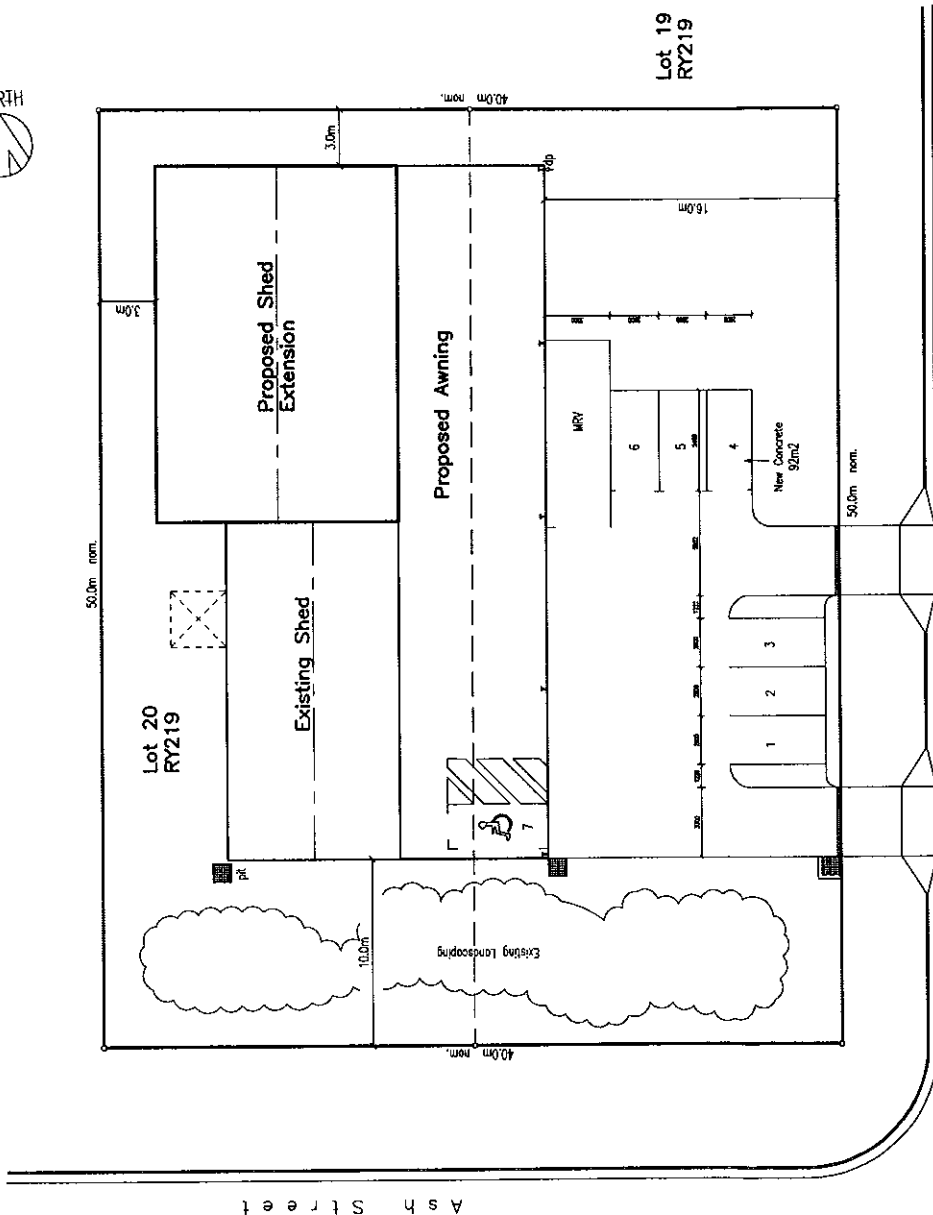
ADJOINING USES PLAN
scale 1:400

- Rev F - Updated Context Layout (30/06/2017)
- Rev E - Updated to Address RFI (07/06/2017)
- Rev D - Updated Application (17/04/2017)
- Rev C - Updated internal layout & stormwater details (17/03/2017)
- Rev B - Additional details for Planning Assessment (27/01/2017)

Drawn by: R.B. Revision No: Rev f(30/06/17)
 Scale: 1:400 @ A2 Drawing No: 5368-05
 Date: 10/12/15

Title: PROPOSED EXTENSION FOR D. MADDOX,
 NO. 4 BOX STREET, BARCALDINE
 ADJOINING USES PLAN.

GATLEY CONSULTANTS
 P.O. Box 1530 Bundaberg, 4670
 Q.B.S.A. No: 1010905 Ph: (07) 41531183 Fax: (07) 41523958



Box Street

SITE PLAN
scale 1:200

BARCALDINE REGIONAL COUNCIL
DIGITALLY STAMPED
PLAN REQUIRING AMENDMENT
Development Permit - Material Change of Use for:
'Industrial Activity' - 'Storage Facility'
referred to in and subject to the conditions in Council's
Decision Notice
Approval Date: 1 September 2017
Application Number: DA411617

Drawn by: J.G.	Revision No.	Signature: _____
Scale: 1:200 @ A2	Drawing No: 5368-06	
Date: 24/6/17		

GAYLEY
BUILDING DESIGN
P.O. Box 1530 Barrowburg, 4570
Ph: (07) 41531183 Fax: (07) 41533958
O.B.S.A. No: 1010205

Title: PROPOSED EXTENSION FOR D. MADDERS,
NO. 4 BOX STREET, BARCALDINE
MODIFIED CARPARK DESIGN

Attachment B

Referral Agency Response

Referral Agency	Date of Response
Department of State Development, Infrastructure and Planning	23 June 2017 and 7 July 2017 (email)



Department of Infrastructure,
Local Government and Planning

Our reference: SDA-0517-039530
Your reference: DA411617

23 June 2017

Chief Executive Officer
Barcaldine Regional Council
PO Box 191
Barcaldine QLD 4725

Attention: Brett Walsh

Dear Mr. Walsh

Concurrence agency response — with conditions given under section 285 of the *Sustainable Planning Act 2009* for Development Permit for Material Change of use for Industrial Activity (Storage Facility) over Lots 19 and 20 on RY219 at 4 Box Street, Barcaldine QLD 4725

The referral agency material for the development application described below was received by the Department of Infrastructure, Local Government and Planning under section 272 of the *Sustainable Planning Act 2009* on 25 May 2017.

Applicant details

Applicant name: D. & C. Madders
Applicant contact details: C/o – John Gatley Building Designs
PO Box 1530
Bundaberg QLD 4670
john@gatleybuildingdesign.com.au

Site details

Street address: 4 Box Street - Barcaldine, QLD 4725
Lot on plan: Lots 19 and 20 on RY219
Local government area: Barcaldine Regional Council

Application details

Proposed development: Development Permit for Material Change of use for Industrial Activity (Storage Facility)

Aspects of development and type of approval being sought

Development Permit for Material Change of use for Industrial Activity (Storage Facility)

Referral triggers

The development application was referred to the department under the following provisions of the Sustainable Planning Regulation 2009:

Referral trigger Schedule 7, Table 3, Item 10—State Controlled Roads

Conditions

Under section 287(1)(a) of the *Sustainable Planning Act 2009*, the conditions set out in Attachment 1 must be attached to any development approval.

Reasons for decision to impose conditions

Under section 289(1) of the *Sustainable Planning Act 2009*, the department must set out the reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Approved plans and specifications

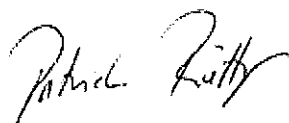
The department requires that the following plans and specifications set out below and in Attachment 3 must be attached to any development approval.

Drawing/Report Title	Prepared by	Date	Reference no.	Version/Issue
Aspect of development: Material Change of Use				
Site Plan Proposed extension for D. Madders	John Gatley Building Designs	07/05/17	5368-04	Rev. E.

A copy of this response has been sent to the applicant for their information.

For further information, please contact Ainsley Sullivan, Senior Planning Officer, SARA Mackay Isaac Whitsunday on (07) 4898 6813, or email ainsley.sullivan@dilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



Patrick Ruettjes

Manager (Planning) –Mackay Isaac Whitsunday Regional Office

cc: D. & C. Madders C/o – John Gatley Building Designs
 enc: Attachment 1—Conditions to be imposed
 Attachment 2—Reasons for decision to impose conditions
 Attachment 3—Approved Plans and Specifications

Our reference: SDA-0517-039530
 Your reference: DA411617

Attachment 1—Conditions to be imposed

No.	Conditions	Condition timing
Development Permit for Material Change of use for Industrial Activity (Storage Facility)		
Schedule 7, Table 3, Item 10 of the Sustainable Planning Regulation 2009 — Pursuant to section 255D of the <i>Sustainable Planning Act 2009</i> , the chief executive administering the Act nominates the Director-General of Department of Transport and Main Roads to be the assessing authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
1.	Signage indicating 'No Exit' facing internally is to be installed at the entry driveway, and 'No Entry' facing externally is to be installed at the exit driveway in accordance with the Department of Transport and Main Roads' Manual of Uniform Traffic Control Devices.	Prior to the commencement of use and to be maintained at all times.

Our reference: SDA-0517-039530
Your reference: DA411617

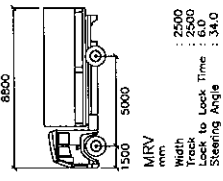
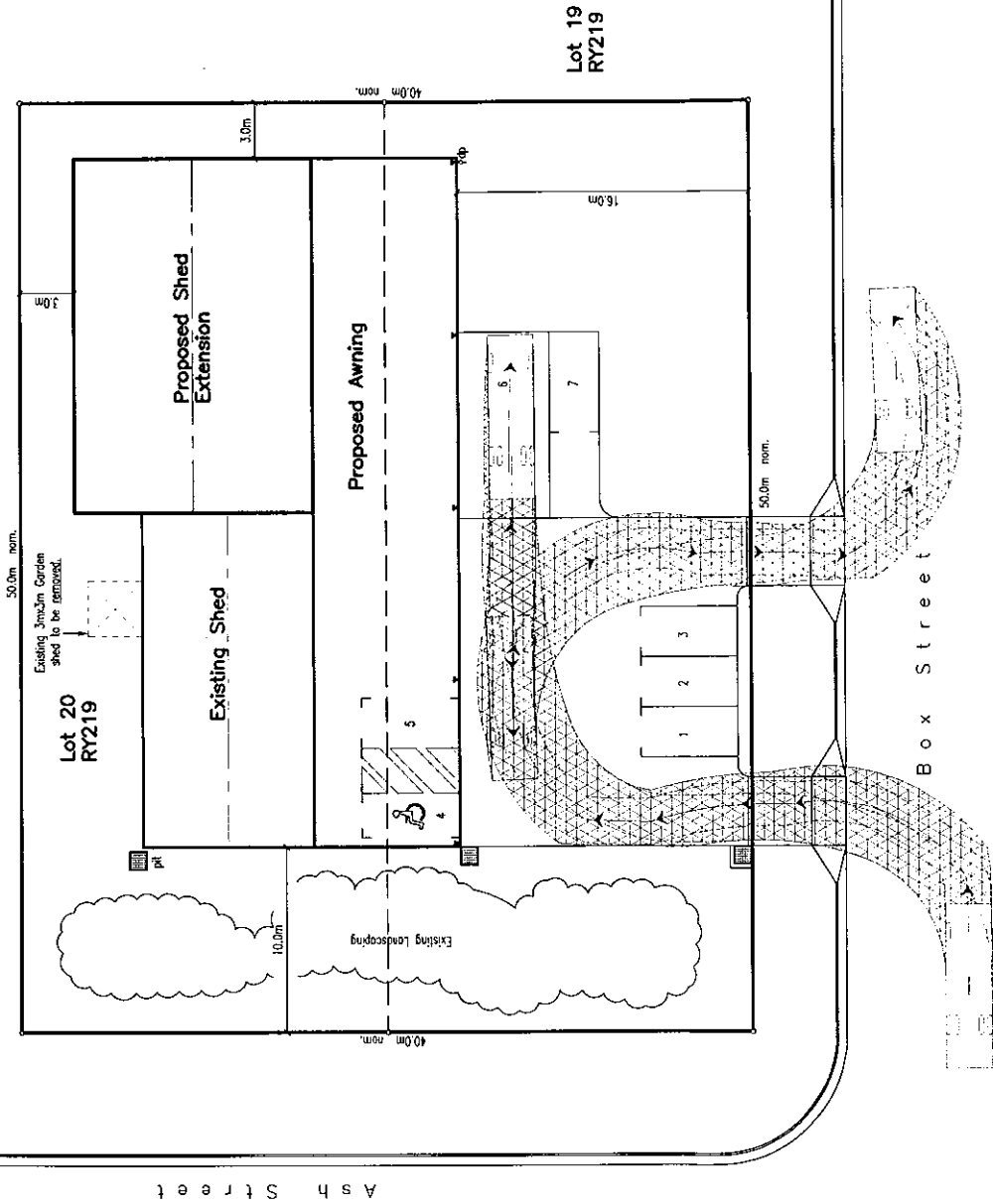
Attachment 2—Reasons for decision to impose conditions

The reasons for this decision are:

- To ensure the movements of vehicles entering and exiting the premises via the road access maintains the safety and efficiency of the state-controlled road.

Our reference: SDA-0517-039530
Your reference: DA411617

Attachment 3—Approved plans and specifications



Rev. E - Updated to Address BR (07/05/2017)
 Rev. D - Updated Application (17/04/2017)
 Rev. C - Updated Internal Layout & Stormwater details (17/03/2017)
 Rev. B - Additional details for Planning Assessment (27/07/2017)

Drawn by: R.B.	Revision No: Rev E(07/05/17)
Scale: 1:200 @ A2	Drawing No: 5368-04
Date: 10/12/15	Project:

Title: PROPOSED EXTENSION FOR D. MAADDERS.
 NO. 4 BOX STREET, BARCALDINE
 TURNING PATHS - MRY DELIVERY VEHICLE.

GALEY
 ARCHITECTS
 100 BOX STREET, BARCALDINE
 P.O. Box 150, Barcaldine, 4670
 Q.B.S.A. No: 1010905 Ph: (07) 41531183 Fax: (07) 4152958

SITE PLAN
 scale 1:200

PLANS AND DOCUMENTS referred to in the Concurrence Agency Response
 Reference no: 8DA-0517-039530
 Date: 23 June 2017

CHTP Office

From: Charmain Acton <CharmainA@barc.qld.gov.au>
Sent: Friday, 7 July 2017 12:47 PM
To: CHTP Office
Subject: FW: HPE CM: Madders Project - 4 Box St, Barcaldine (Ref: SDA-0517-039530)
Attachments: 5368 - 04 Rev F Turning Path.pdf

FYI

Charmain Acton | Customer Service Officer | Barcaldine Regional Council

Barcaldine Administration Office
71 Ash Street, Barcaldine Q 4725
Ph: (07) 4651 5600 | Fax: (07) 4651 1778
Hours: Monday to Friday 8am to 4.30pm
Lunch Closure: Tuesday & Thursday 12.30pm-1.15pm
www.barcaldinerc.qld.gov.au



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From: John - Gatley Building Design [<mailto:john@gatleybuildingdesign.com.au>]
Sent: Friday, 7 July 2017 12:39 PM
To: Charmain Acton
Cc: Brett Walsh
Subject: FW: HPE CM: Madders Project - 4 Box St, Barcaldine (Ref: SDA-0517-039530)

Hello Charmain,

Please see below TMR comments in relation to the minor carpark change associated with our response to the information request. This is for your files and information only.

Regards



P.O. Box 1530 Bundaberg Q 4670 Ph: 07 4153 1183 Fax: 07 4152 3958

From: Ainsley Sullivan [<mailto:Ainsley.Sullivan@dlgp.qld.gov.au>]
Sent: Tuesday, 4 July 2017 5:01 PM
To: John - Gatley Building Design <john@gatleybuildingdesign.com.au>
Subject: RE: HPE CM: Madders Project - 4 Box St, Barcaldine (Ref: SDA-0517-039530)

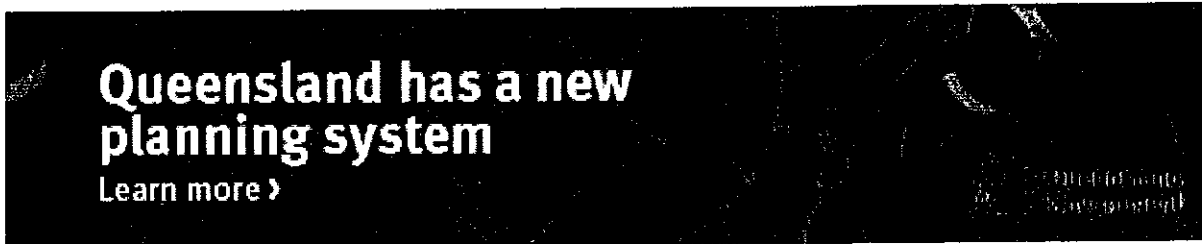
Hi John,

Sorry for the delay in getting back to you – TMR officer was on leave.

We have no objection regarding your revised proposal plan (Site Plan Rev. F. attached); and we are happy to consider the new plan as 'generally in accordance with' the approved plan for our purposes.

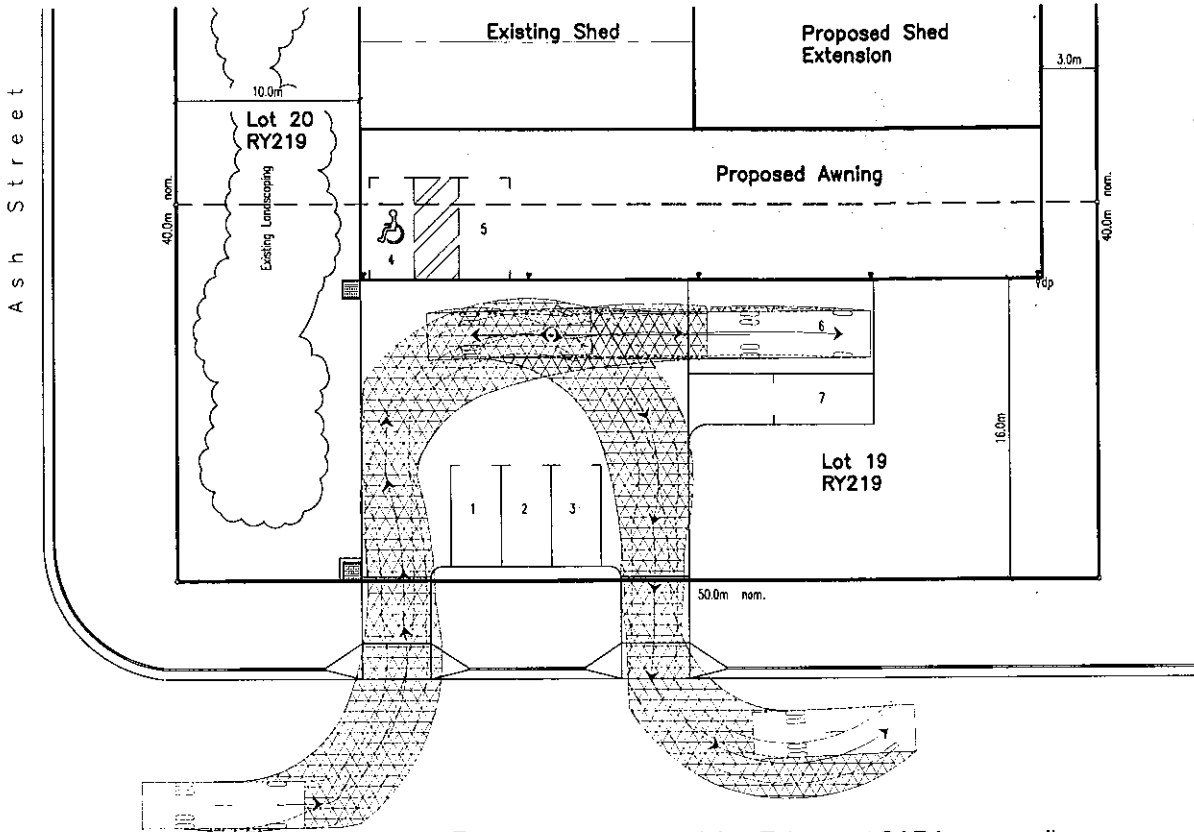
Kind Regards

Ainsley Sullivan
Senior Planning Officer
Planning & Development Services | Mackay Isaac Whitsunday
Department of Infrastructure, Local Government and Planning
Level 4, 44 Nelson Street, Mackay QLD 4740
p. 07 4898 6813 | e. ainsley.sullivan@dilgp.qld.gov.au

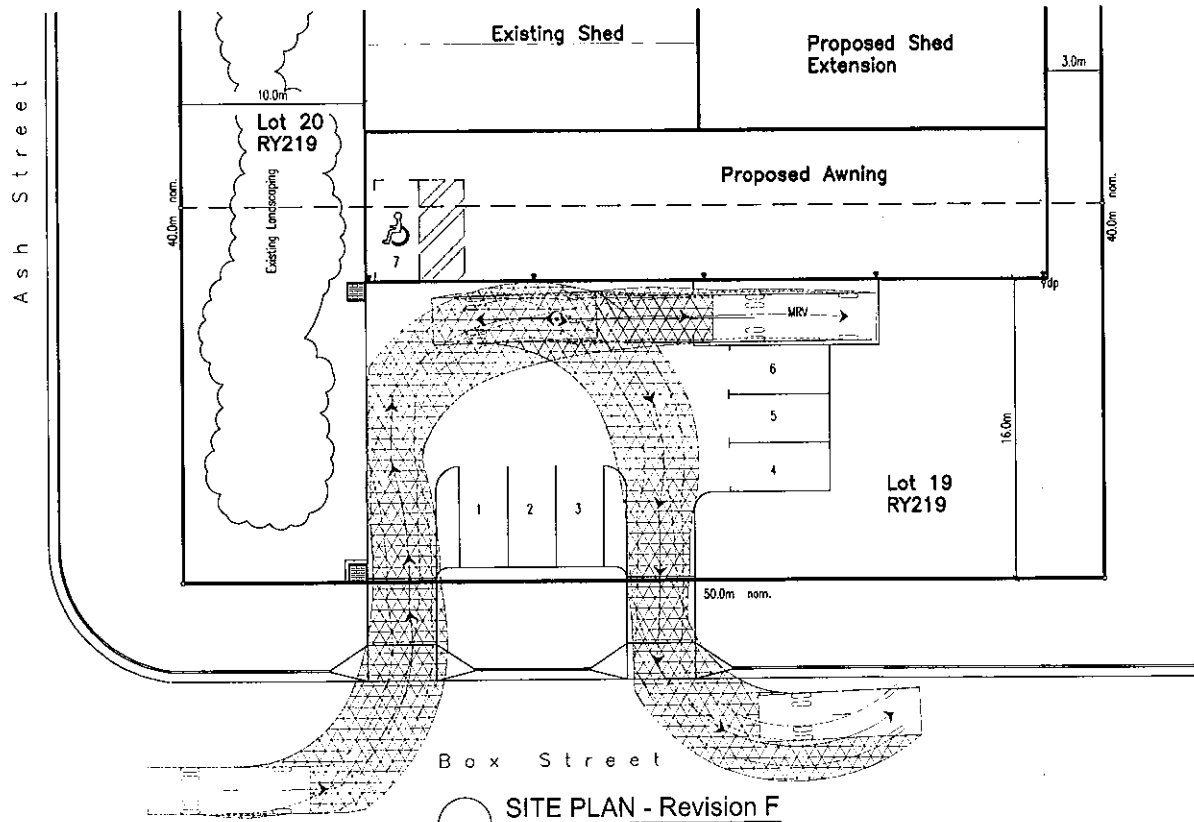


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○ SITE PLAN - Revision E (current SARA approval)
scale 1:200



○ SITE PLAN - Revision F
scale 1:200

- Rev F - Updated Site Plan to include additional carparks (21/06/2017)
- Rev E - Updated to Address RFI (07/05/2017)
- Rev D - Updated Application (17/04/2017)
- Rev C - Updated internal layout & stormwater details (13/03/2017)
- Rev B - Additional details for Planning Assessment (27/07/2017)

GATLEY
SOLUTIONS DESIGN
P.O. Box 1530 Sandstone, 4670
Q.B.S.A. No. 1010905 Ph: (07) 41531183 Fax: (07) 41523458

Title:
**PROPOSED EXTENSION FOR D. MADDERS,
NO. 4 BOX STREET, BARCALDINE
TURNING PATHS - MRV DELIVERY VEHICLE.**

Drawn by: R.B.
Scale: 1:200 @ A2
Date: 10/12/15

Revision No:
Rev F(21/06/17)
Drawing No:
5368-04

As indicated drawings are to be prepared.
"Accepted for construction" by properly executed
drawings or details that have not been indicated by the
designer have NOT been approved by the designer.
Signed:

Attachment C

Extracts from the *Sustainable Planning Act 2009* Relating to Appeal Rights

Part 1	Appeals to Court Relating to Development Applications and Approvals	Chapter 7, Part 1, Division 8 (Part of)
Part 2	Making an Appeal to Court	Chapter 7, Part 1, Division 11 (Part of)

**PART 1 – APPEALS TO COURT RELATING TO DEVELOPMENT
APPLICATIONS AND APPROVALS**
Chapter 7, Part 1, Division 8 (Part of)

461 Appeals by applicants

- (1) *An applicant for a development application may appeal to the court against any of the following—*
 - (a) *the refusal, or the refusal in part, of the development application;*
 - (b) *any condition of a development approval, another matter stated in a development approval and the identification or inclusion of a code under section 242;*
 - (c) *the decision to give a preliminary approval when a development permit was applied for;*
 - (d) *the length of a period mentioned in section 341;*
 - (e) *a deemed refusal of the development application.*
- (2) *An appeal under subsection (1)(a), (b), (c) or (d) must be started within 20 business days (the applicant's appeal period) after—*
 - (a) *if a decision notice or negotiated decision notice is given—the day the decision notice or negotiated decision notice is given to the applicant; or*
 - (b) *otherwise—the day a decision notice was required to be given to the applicant.*
- (3) *An appeal under subsection (1)(e) may be started at any time after the last day a decision on the matter should have been made.*

PART 2 – MAKING AN APPEAL TO COURT
Chapter 7, Part 1, Division 11 (Part of)

481 How appeals to the court are started

- (1) *An appeal is started by lodging written notice of appeal with the registrar of the court.*
- (2) *The notice of appeal must state the grounds of the appeal.*
- (3) *The person starting the appeal must also comply with the rules of the court applying to the appeal.*
- (4) *However, the court may hear and decide an appeal even if the person has not complied with subsection (3).*

